

**FIRST AMENDED DECLARATION OF COVENANTS,
CONDITIONS, AND RESTRICTIONS FOR THE OAK BLUFF
ESTATES SUBDIVISION**

STATE OF TEXAS §
COUNTY OF WILLIAMSON § KNOW ALL MEN BY THESE PRESENTS:
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THIS FIRST AMENDED DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR THE OAK BLUFF ESTATES SUBDIVISION (this “Declaration”) is executed on the date hereinafter set forth by THE ESTATES OF OAK BLUFF HOMEOWNERS ASSOCIATION, INC., a Texas nonprofit corporation (the “Association”).

WITNESSETH:

WHEREAS, the Association is the homeowners' association for the Oak Bluff Estates subdivision in Williamson County, Texas (the "Subdivision" or the "Property"), described as follows:

Being all the lots in Oak Bluff Estates, a subdivision in Williamson County, Texas, according to the map or plat thereof as recorded in Cabinet F, Slide Nos. 125-127 of the Plat Records of Williamson County, Texas and resubdivision of Lots 11, 12, 13, and 14, Block "A" as recorded in Cabinet F, Slide 271 of the Plat Records of Williamson County, Texas.

WHEREAS, the Subdivision is subject to certain covenants, conditions, and restrictions as set out in that certain Declaration of Covenants, Conditions, and Restrictions, recorded in Volume 1117, pages 13-22 of the Official Public Records of Williamson County, Texas (the “Original Declaration”); and

WHEREAS, The Original Declaration provides that “an instrument signed by not less than 75 percent of the Lot Owners” may amend the Original Declaration; and

WHEREAS, the requisite number of Lot Owners desire to amend the Original Declaration and have approved this Declaration and voted to amend the covenants, conditions, and restrictions thereunder as herein provided.

NOW, THEREFORE, in consideration of the premises, and pursuant to the authority of the Original Declaration, the Lot Owners in the Subdivision, acting by and through the Association, hereby adopt, affirm, and ratify the following amended covenants, conditions, and restrictions for the Subdivision and declare that the Subdivision shall be developed, improved, held, used, sold, and conveyed in accordance with and subject to the following easements, restrictions, reservations, dedications, covenants, conditions, and stipulations, all of which are hereby adopted for and placed upon the Subdivision, and which shall run with the Lots in the Subdivision and be binding on all parties, now and at any time hereafter, having or claiming any right, title, or interest in the Subdivision or any part thereof, their heirs, executors, administrators, successors, and assigns, regardless of the source of or the manner in which any such right, title, or interest is or may be acquired, and all of which shall inure to the benefit of each Owner of any part of the Subdivision.

I.

Article Eight, Section 8.03 (Duration and Amendment) of the Original Declaration is hereby repealed and replaced with the following:

SECTION 8.03. TERM. The covenants, conditions, and restrictions set forth herein shall remain in full force and effect for twenty (20) years from the date hereof, and thereafter shall, as then in force, be extended automatically and without further notice, and without limitation, for successive periods of ten (10) years each, unless modified or terminated in the manner hereinafter set forth.

SECTION 8.04. AMENDMENT; TERMINATION. This Declaration may be amended or modified at any time in any particular manner, or terminated in its entirety, by a vote of sixty-seven percent (67%) of the total votes allocated to the Lot Owners in the Association.


SECTION 8.05. CERTIFICATE OF REQUIRED APPROVAL. Attached to this instrument and specifically made a part hereof is a Certificate, signed by the President and Secretary of the Association, certifying that 75 percent of the Lot Owners of the Subdivision have voted in favor of and approved this Declaration.

Unless further modified or amended as provided herein, the Original Declaration and this First Amended Declaration are to run with the land and shall be binding on all Owners of Lots in the Subdivision and all persons claiming under them for the term as set out in Section 8.03 herein.

SECTION 8.06. REPEAL OF SECTION 8.03 OF ORIGINAL DECLARATION. These amendments become effective immediately upon the filing of this First Amended Declaration in the Official Public Records of Williamson County, Texas, except to the extent this Declaration may be determined to be invalid or inapplicable to the Subdivision, or any Lot therein or any part thereof, or any right, title or interest therein, in which case and to such extent the Original Declaration shall apply, and in such case and to that extent (but only in such case and to such extent) the Original Declaration is hereby ratified and confirmed and shall continue in full force and effect.

17 IN WITNESS WHEREOF, the Association has executed this Declaration as of this the day of December, 2024.

THE ESTATES OF OAK BLUFF HOMEOWNERS
ASSOCIATION, INC.
a Texas nonprofit Corporation


Amanda Hernandez, President

ATTEST:

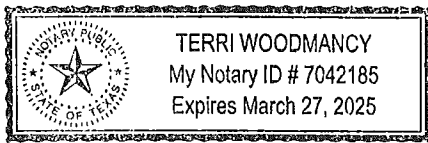
Mandie Sanchez
Mandie Sanchez, Secretary

STATE OF TEXAS

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COUNTY OF WILLIAMSON

This instrument was acknowledged before me on the 17 day of December 2024,
 by Amanda Hernandez, President of The Estates of Oak Bluff Homeowners Association,
 Inc., a Texas nonprofit corporation, on behalf of said corporation.



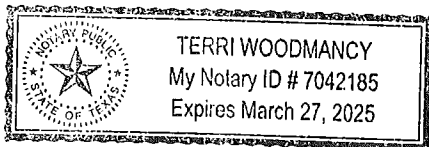
Terri Woodmancy
 Notary Public - State of Texas

STATE OF TEXAS

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COUNTY OF WILLIAMSON

This instrument was acknowledged before me on the 17 day of December 2024,
 by Mandie Sanchez, Secretary of The Estates of Oak Bluff Homeowners Association,
 Inc., a Texas nonprofit corporation, on behalf of said corporation.



Terri Woodmancy
 Notary Public - State of Texas

CERTIFICATE

The undersigned President and Secretary, respectively, of The Estates of Oak Bluff Homeowners Association, Inc., certify that, as required by Section 8.03 of the Original Declaration, the foregoing First Amended Declaration of Covenants, Conditions, and Restrictions for the Oak Bluff Estates Subdivision has been approved by a vote of 75 percent of the Lot Owners of the Subdivision.

Date: 12/17/24

Amanda Hernandez
Amanda Hernandez, President

Date: 12/17/24

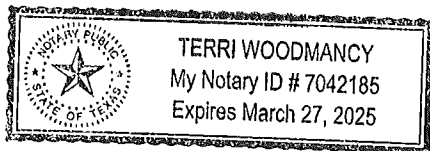
Mandie Sanchez
Mandie Sanchez, Secretary

STATE OF TEXAS

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COUNTY OF WILLIAMSON

This instrument was acknowledged before me on the 17 day of December 2024, by Amanda Hernandez, President of The Estates of Oak Bluff Homeowners Association, Inc., a Texas nonprofit corporation, on behalf of said corporation.



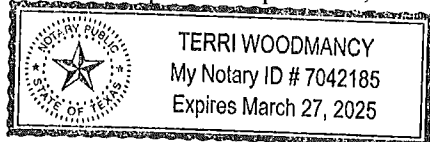
Terri Woodmancy
Notary Public - State of Texas

STATE OF TEXAS

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COUNTY OF WILLIAMSON

This instrument was acknowledged before me on the 17 day of December 2024, by Mandie Sanchez, Secretary of The Estates of Oak Bluff Homeowners Association, Inc., a Texas nonprofit corporation, on behalf of said corporation.



Terri Woodmancy
Notary Public - State of Texas

**ELECTRONICALLY RECORDED
OFFICIAL PUBLIC RECORDS**

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Pages: 5 Fee: \$37.00

12/20/2024 12:55 PM

MBARRICK



Nancy E. Rister

Nancy E. Rister, County Clerk
Williamson County, Texas